

## KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 NORTH RUBY STREET SUITE #2, ELLENSBURG, WA 98926  
PHONE (509) 962-7506

FOR MORE INFORMATION VISIT THE CDS WEBSITE AT: [WWW.CO.KITTITAS.WA.US/CDS](http://WWW.CO.KITTITAS.WA.US/CDS)

### Building Permit Process Instructions

The following items are required prior to building permit submittal:

<input type="checkbox"/>	<b>Adequate Water Supply Determination (AWSD) Approval</b> Kittitas County Public Health (509) 962-7515 <a href="http://www.co.kittitas.wa.us/health/programs/environmental-health/water">www.co.kittitas.wa.us/health/programs/environmental-health/water</a>
<input type="checkbox"/>	<b>Preliminary Site Analysis (PSA) Completed</b> Kittitas County Community Development Services (509) 962-7506 <a href="http://www.co.kittitas.wa.us/cds/building">www.co.kittitas.wa.us/cds/building</a>
<input type="checkbox"/>	<b>Flood Development Permit Issued (if applicable)</b> Kittitas County Public Works (509) 962-7523 <a href="https://www.co.kittitas.wa.us/public-works/fees.aspx">https://www.co.kittitas.wa.us/public-works/fees.aspx</a>

#### **It is recommended you apply for the following items:**

\*Please note these are not required to submit a building permit, but required prior to permit issuance

<input type="checkbox"/>	<b>Access Permit</b> Kittitas County Public Works (509) 962-7523 <a href="http://www.co.kittitas.wa.us/public-works/development/access">www.co.kittitas.wa.us/public-works/development/access</a>
<input type="checkbox"/>	<b>Septic Permit</b> Kittitas County Public Health (509) 962-7515 <a href="http://www.co.kittitas.wa.us/health/programs/environmental-health/liquid-waste">www.co.kittitas.wa.us/health/programs/environmental-health/liquid-waste</a>

#### **Building permit submittal:**

<input type="checkbox"/>	<b>Electronic Submittal Instructions &amp; Building Permit Checklist</b> (see enclosed documents)
<input type="checkbox"/>	<b>Completed Building Permit Application</b> <a href="http://www.co.kittitas.wa.us/cds/building/default">www.co.kittitas.wa.us/cds/building/default</a>

## **ELECTRONIC SUBMITAL INSTRUCTIONS FOR BUILDING PERMITS**

**Only PDF versions** of permit applications, site plan, construction drawings, and other required documents applicable to the submittal will be accepted. All other formats and incomplete submittals will be denied. All electronic submittals must be clearly identified and submitted as separate PDF documents.

### **Required names to title all individual submittals:**

- "Signed Building Permit Application"
- "Approved Adequate Water Form"
- "Finalized Preliminary Site Analysis"
- "Site Plan"
- "Building Plans"
- "Engineer Structural Calculations"
- "Individual Truss Sheets and Truss Layout"
- "Energy Credit and Ventilation Forms"
- "HVAC Sizing Worksheet"
- "Window/Door [Schedule](#)"

### **Other documents that may be required:**

- Suncadia Design Review Committee Approval Letter
- Critical Area Report
- Wetland Delineation
- Shoreline Exemption or Shoreline Variance Permit
- Conditional Use Permit
- Accessory Dwelling Unit Approval
- Flood Development Permit
- Variance Determination
- Airport Overlay Approval
- Geotechnical Report
- Reports from Fish & Wildlife/ DNR/ Department of Ecology/ Certified Biologist

### **Documents may be submitted in one of two ways:**

1. **Email PDF documents to** [permits@co.kittitas.wa.us](mailto:permits@co.kittitas.wa.us)
2. **Our new online submittal upload feature makes it easy to apply for building permits. Here's how it works:**
  - **Access the upload feature via desktop or mobile:** Submitters can find the upload feature by clicking the link below and then click the blue button labeled "Go to the Uploader."
    - <https://www.co.kittitas.wa.us/cds/building/default.aspx>
  - **Fill Out Your Information:** Once you're in the upload feature, you'll need to enter your details, including your name, email address, and phone number.
  - **Select Permit Type:** Next, you'll choose the specific type of permit you're applying for from the available options.
  - **Upload Required Documents:** Finally, upload all necessary documents to complete your submission.

Once your submission is received, a Permit Technician will notify you whether it has been accepted or denied. If your submission is denied, the technician will provide a reason for the denial, and you will need to resubmit **all** documents according to the steps outlined above. Please note that a monetary deposit is required to complete the intake process. After the deposit is made, a permit number will be assigned to your submission and placed in line for review.

Please be advised that email submissions with files sizes exceeding **25MB** cannot be received. Should your documents exceed this, please send them in separate emails or through the upload feature. If you do not receive a response within two business days, please contact our office at 509-962-7506.

## Contractor Registration

1. The State Contractors Registration Act (RCW Chapter 18.27) requires all persons doing any work as a Contractor to obtain a Certificate of Registration from the Washington State department of Labor and Industries.
2. An owner can personally perform the proposed construction or can contract to have the work performed by a Registered Contractor.
3. An owner, if not a registered contractor, can construct improvements on his or her own property provided it is done WITHOUT the intention of selling the improved property.
4. It is unlawful to do any work as a Contractor without a Certificate of Registration. Violation of these requirements is a misdemeanor.

## Deposit/ Fees

Deposits are required for every application and are as follows:

• New Residence	\$800.00
• Modular Homes, Accessory Structures	\$300.00
• Residential Alteration/Addition	\$150.00
• Preliminary Site Analysis	\$380.00

The balance of permit fees are payable at the time of permit issuance. Approved plans will not be held for more than 180 days from the date plans are stamped approved. Plans held over 180 days will expire and the balance of plan review fees must be paid. **All Deposits are Non-Refundable.**

## Construction Drawings

The construction drawings are detailed drawings of the structure you are planning to build. They include both the architectural and structural components. The drawings must be complete and accurate. Two sets are required at the time of application submittal. These working drawings are used to provide detailed information on how you plan to construct your project.

## Engineering

Professional Preparation of Plans: Kittitas County shall require a Washington State licensed design professional, licensed under the provisions of RCW 18.08, WAC 308-12 (for Architects) or RCW 18.43 (for Engineers) to stamp, prepare or oversee the preparation of plans and calculations for buildings or structures when ANY of the following criteria are met but is not limited to the following:

- a. A building of any occupancy over 4,000 square feet.  
*Exception: residential buildings that do not contain more than 4 dwelling units; farm buildings of any size associated with commercial agriculture; buildings such as garages, sheds, barn or shelters for animals and machinery that are used in connection with or auxiliary to farm buildings, or in connection with or accessory to residential buildings of four dwelling units or less.*
- b. Buildings containing five or more residential dwelling units.  
*Exception: buildings less than 4000 square feet.*
- c. All log and timber frame structures and log and timber frame structural components. This includes any log or beam style trusses used in stick framed buildings.
- d. All structures located above 70-psf ground snow load that are regulated by the International Residential Code.
- e. All structures located above 50-psf ground snow load that are regulated by the International Building Code

Plans submitted that have been engineered by a licensed architect or engineer must have the engineering **on the plans**. This can be accomplished two ways.

1. The architect or engineer stamps all structural plans and calculations; OR
2. The calculations are prepared and stamped by the architect or engineer. The structural plans have been reviewed by the architect or engineer and he or she supplies a stamped letter stating that all engineering within the calculations are detailed on the plans.

**It is highly recommended to call our department prior to starting the engineering for all design criteria.**

# Residential Submittal Checklist

FOR MORE INFORMATION VISIT THE CDS WEBSITE AT: [WWW.CO.KITTITAS.WA.US/CDS](http://WWW.CO.KITTITAS.WA.US/CDS)

**THIS IS NOT A REVIEW.** This checklist is used to ensure that your permit application includes the minimum information needed to submit for a building permit. **APPLICATIONS WILL NOT BE ACCEPTED FOR SUBMITTAL UNTIL ALL OF THE APPLICABLE ITEMS ARE INCLUDED.**

Required Submittal Items			Comments
1.	<input type="checkbox"/>	Application Completed and Signed	
2.	<input type="checkbox"/>	Finalized Preliminary Site Analysis	
3.	<input type="checkbox"/>	Scaled Site Plan	
4.	<input type="checkbox"/>	Geotechnical Report for steep slopes 33% & greater	
5.	<input type="checkbox"/>	Signed Water Availability Form for all projects adding plumbing	
6.	<input type="checkbox"/>	Foundation Plan*	
7.	<input type="checkbox"/>	Floor Plan (one for each level)*	
8.	<input type="checkbox"/>	Floor Framing Plan (one for each level)*	
9.	<input type="checkbox"/>	I-Joist Layout (one for each level)*	
10.	<input type="checkbox"/>	Cross Section* (from roof to foundation)	
11.	<input type="checkbox"/>	Roof Framing Plan	
12.	<input type="checkbox"/>	Truss Layout and Individual Truss Sheets	
13.	<input type="checkbox"/>	Elevation Plans (each side of structure)*	
14.	<input type="checkbox"/>	Energy & Ventilation Compliance Forms* <a href="http://www.energy.wsu.edu/BuildingEfficiency/EnergyCode.aspx">www.energy.wsu.edu/BuildingEfficiency/EnergyCode.aspx</a>	
15.	<input type="checkbox"/>	Engineer stamped plans and calculations above 70 psf pg to scale (if plans are not required to be engineered then they can be 1/4" scale on 11x17 paper).	
16.	<input type="checkbox"/>	Current Building code listed on plans and calculations	

# UNIFIED SITE PLAN REQUIREMENTS

FOR MORE INFORMATION VISIT THE CDS WEBSITE AT: [WWW.CO.KITTITAS.WA.US/CDS](http://WWW.CO.KITTITAS.WA.US/CDS)

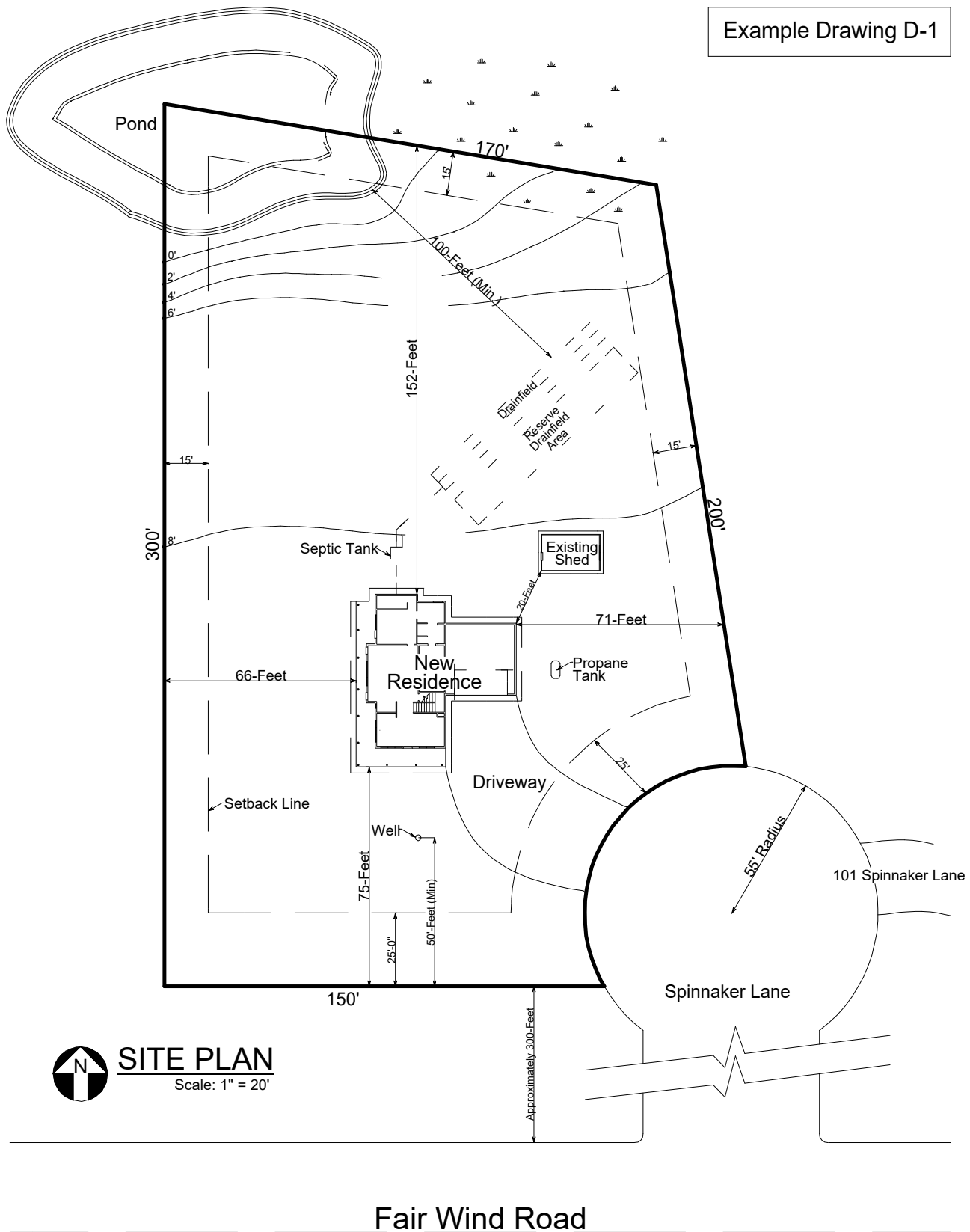
The site plan or plot plan is a graphical presentation of an entire lot as seen from an aerial view. This site plan will be used by Kittitas County Community Development Services (CDS) to check setbacks and critical areas; used by the department of Public Works to grant access and issue addresses and; used by the Environmental Health Department for septic permits.

## The Following List Identifies The Graphical Notes and Text Required On the Site Plan:

- **Scale** - Scale is required. Minimum scale 1" = 100'. The site plan must give dimensions for the property and show the entire lot without broken property lines. For large parcels, draw a two-page site plan, the first page depicting the entire lot at a convenient scale and the second page depicting an enlargement of the developed area at 1" = 20' scale.
- **Proposed and/or Existing Structure(s) and/or Tank(s) with Dimensions** - Show all existing and proposed buildings, structures, uses and distances to property lines, and other buildings and easements. Structures include all buildings, porches, decks, retaining walls, rockeries, and above ground and underground tanks. Identify existing buildings to remain, those scheduled for demolition, and/or those scheduled for removal.
- **Lot Lines, Setbacks, and Easements with Dimensions** - Show all property lines, building setback lines, applicable plat or short plat restrictions and easements. Documentation of easements(s) may be required.
- **Surface Water** - (Ponds, Streams, Irrigation Laterals, Canals, Ditches, Wetlands, Rivers, Creeks, Ravines, Springs, Lakes, Bogs, Areas of Saturated Ground, Flood Hazard Areas/Boundaries, Erosions Hazard Areas, and Coal Mines) should be indicated on the site plan. Show the name of the body of water (if applicable). Show distances to abutting structures.
- **Location of Existing and/or Proposed Access Point(s)** - This includes streets, access easements, alleys, cul-de-sacs, and joint use driveways. Please mark location of approach with stakes and ribbon. For questions on access contact the Department of Public Works at (509) 962-7523.
- **North Arrow**
- **Septic / Reserve Areas and Well Location** - Show setbacks with respect to the location of the septic tank, drain field and reserve area. These must be identical to the location approved by the Environmental Health Department. Show well location and any encroachments within the well protection area. For questions on septic and well requirements and restrictions contact the Kittitas County Environmental Health Department at (509) 962-7052.
- **Natural Features (Slopes, Gullies, Etc.)** - If any portion of the site slopes at more than 15%, show topographic contours. Maximum contour intervals equal five feet. Show top and toe of all slopes inclined at 33 percent or more and more than ten feet high. Note: These elevations can be approximated unless a proposed property is in a flood hazard area; if so, contact a CDS planner at (509) 962-7506 for further requirements.
- **Adjacent Address** – Show and/or describe the approximate distance and address of the nearest addressed driveway. This may be shown graphically or described on the site plan.
- **Nearest Cross Street** – Show and/or describe the approximate distance to the nearest cross street. This may be shown graphically or described on the site plan.

# SITE PLAN

Example Drawing D-1



**SITE PLAN**

Scale: 1" = 20'

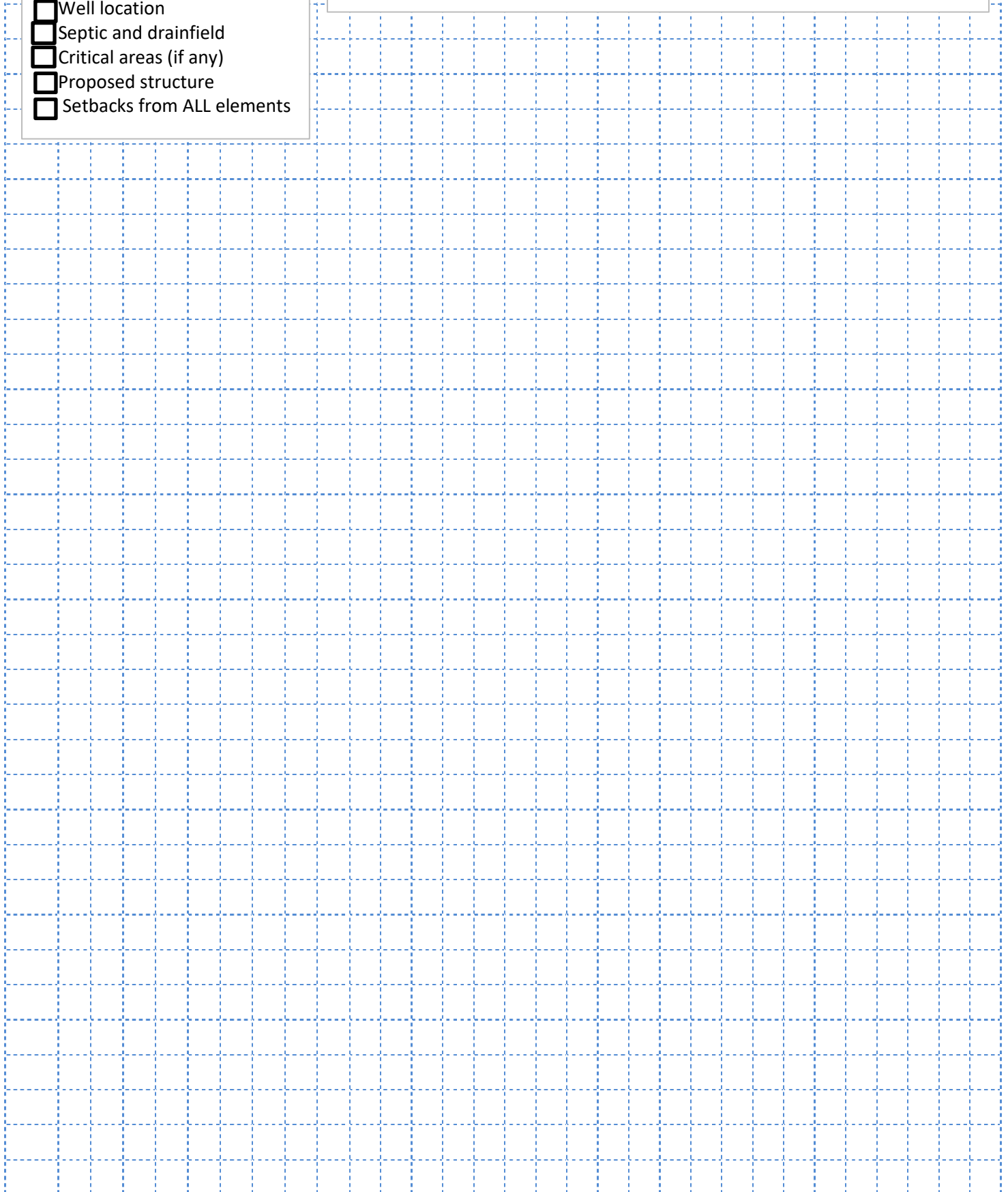
NOTE: This Site Plan Is One Typical Example, Depending On The Site, Other Restrictions And Requirements May Apply.

- ☐ Property lines
- ☐ Existing structures
- ☐ Driveway and access road
- ☐ Well location
- ☐ Septic and drainfield
- ☐ Critical areas (if any)
- ☐ Proposed structure
- ☐ Setbacks from ALL elements

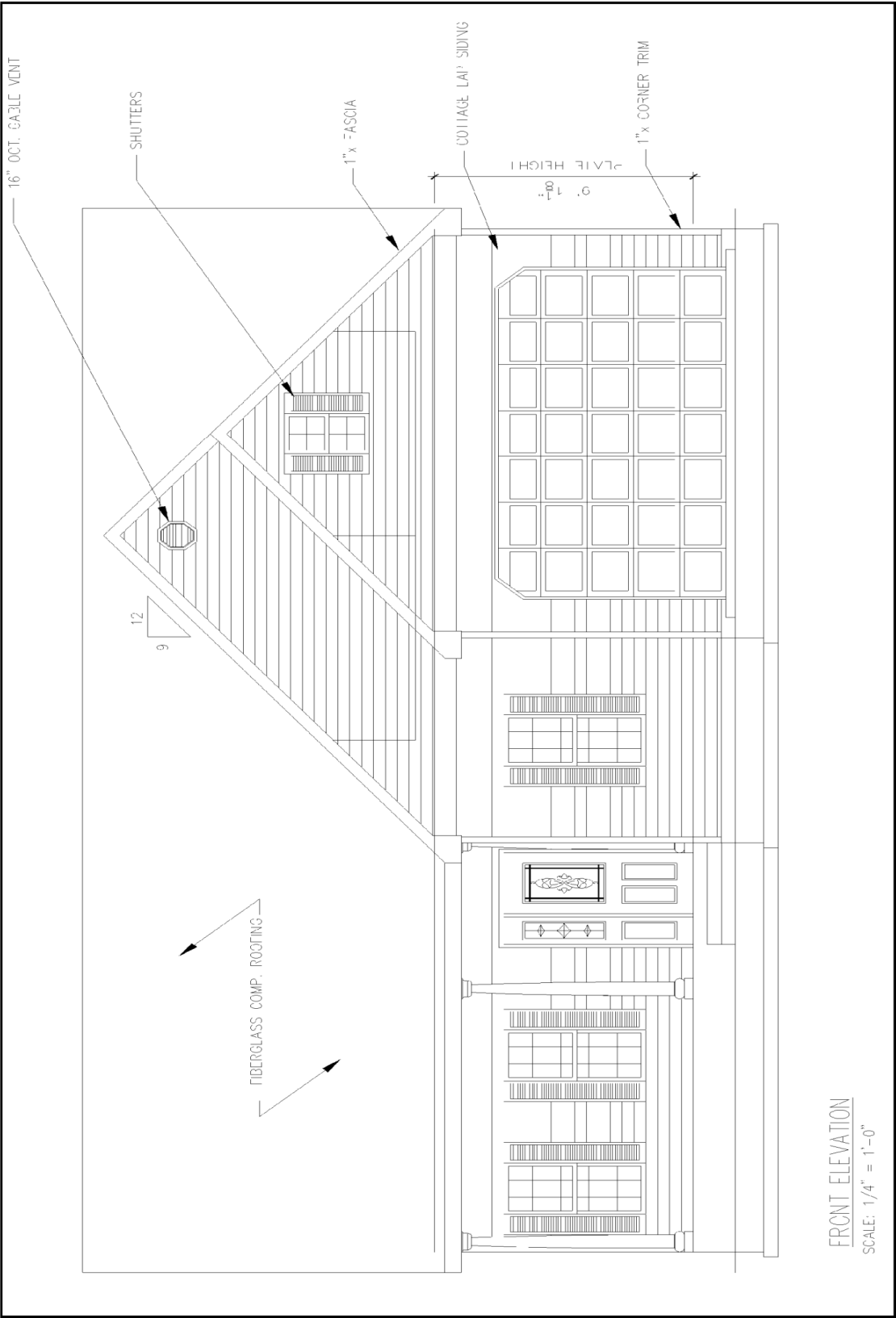
SITE PLAN must be drawn to scale and include the listed elements

Example scales: 1/4 in. box = 10 feet

1/4 in. box = 50 feet

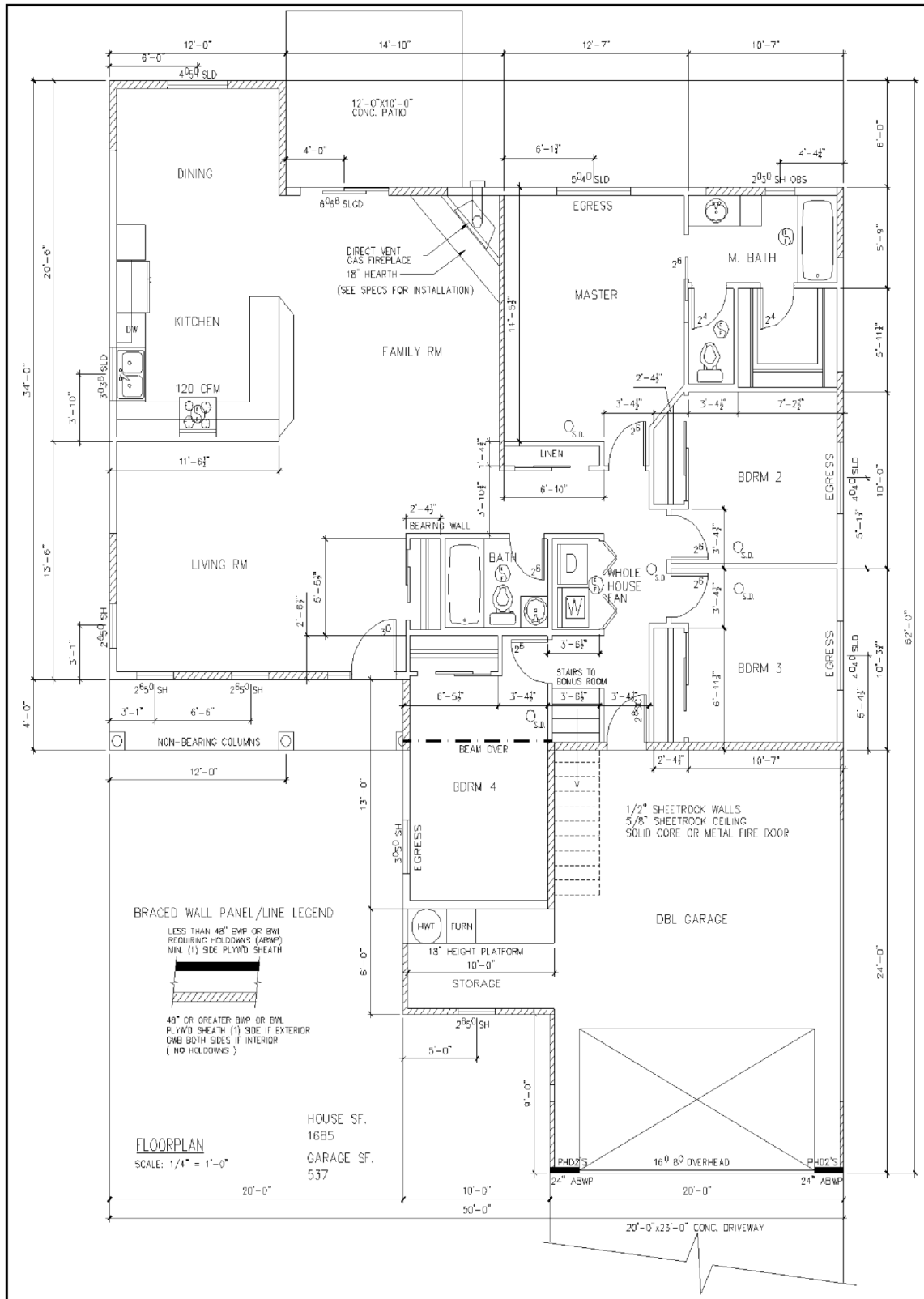


# ELEVATION PLAN





# FLOOR PLAN



**FOUNDATION NOTES:**

- 9 1/2" BCI, TJI OR LPI FLOOR JOISTS @ 16" O.C. WITH 2"x10" RIM
- 3/4" PLYWOOD OR OSB SUBFLOORING OVER
- 2"x4" PONY WALL w/ CONTINUOUS 12"x6" STRIP FOOTING MAIN JOIST BEARING
- 4"x10" DF#2 BEAMS ON 4"x4" P.T. POSTS W/AE BASES AND BC CAPS OVER
- 12"x12"x24" DEEP CONC. FOOTINGS AS SHOWN FOR FRONT PORCH JOIST BEARING
- ALL FOUNDATION WIDTHS 6" WITH 12" WIDE FOOTING.

**CRAWL SPACE**

- 6 MIL. BLACK POLY VAPOR BARRIER GROUND COVER

**FOUNDATION VENTILATION:**

- APPRX. 1685 S.F. CRAWL SPACE / 300 = 5.62 S.F. X 144 = 809 S.I. TOTAL VENTING REQUIRED.
- 6"x16" SCREENED VENTS AT 96 S.I. = 9 TOTAL VENTS

**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**GARAGE SLAB**

**BLOCK OUT FOUND. FOR 16'-0" DOOR**

# CROSS SECTION PLAN

## TYPICAL ROOF CONST.

ROOFING (SEE ELEVATIONS)  
 30# ASPHALTIC ROOFING PAPER  
 7/16" OSB OR 1/2" PLYWD SHEATHING  
 PRE-ENGINEERED ROOF TRUSSES @ 24" o/c  
 R-49 BATT INSUL. W/VAPOR RETARDER  
 5/8" GYPSUM BOARD CEILING

1x4 OR 6 FASCIA

CONT. VENTING  
 OR 6"x16" VENTS

3/8" SOFFIT  
 (MAY BE RAKED)

2'-0"  
 TYPICAL  
 (SEE ROOF PLAN)

PT 2x4 OR 6 W/1/2" A.B.  
 @ 6' o/c & 12" FROM  
 ENDS & SPLICES - 7"  
 MINIMUM EMBED

(SEE ELEVATIONS)

X

X

INSUL. BAFFLE

## TYPICAL WALL CONST.

HARDBOARD SIDING  
 TYVEK BUILDING WRAP  
 7/16" OSB OR 1/2" PLYWOOD  
 2x6 STUDS @16" o/c  
 R-21 BATT INSUL. W/VAPOR RETARDER  
 1/2" GYPSUM BOARD INTERIOR

## TYPICAL FLOOR CONST.

3/8" UNDERLAYMENT OR CARPET PAD  
 @ CARPETED AREAS  
 3/4" T&G PLYWOOD SUBFLOOR GLUED  
 & RING-SHANK NAILED  
 FLOOR JOISTS (SEE LAYOUT)  
 R-30 BATT INSULATION

6" MIN.

2'-0" MIN.

6" MIN.

(1) #4 REBAR HORIZ. AT TOP OF  
 STEMWALL  
 (1) #4 REBAR VERT. AT 18" O.C.  
 (2) #4 REBAR HORIZ. IN FOOTING 3"  
 CLEAR OF SOIL

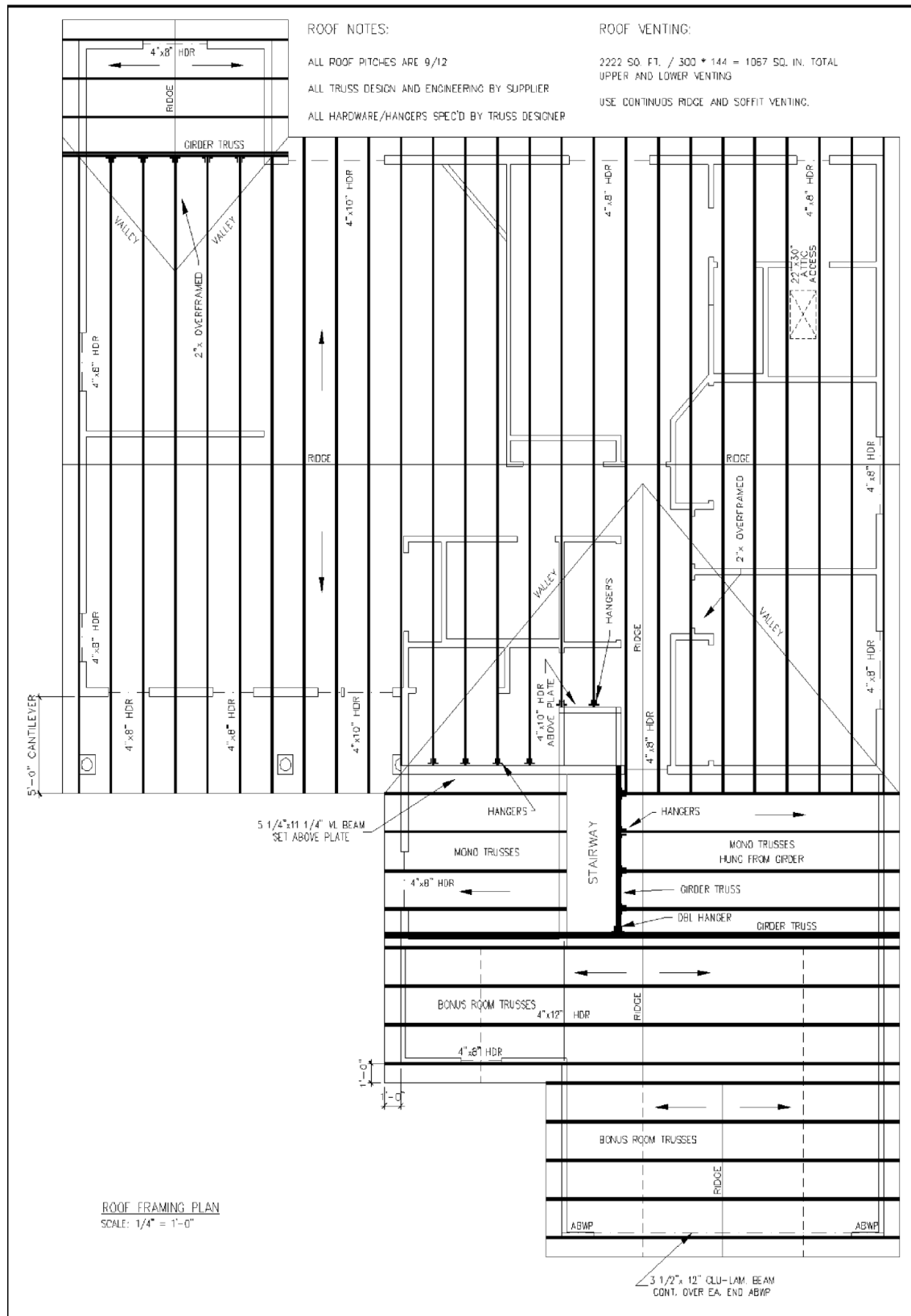
VAPOR BARRIER

CONCRETE FOOTING  
 (SEE FOUNDATION PLAN)

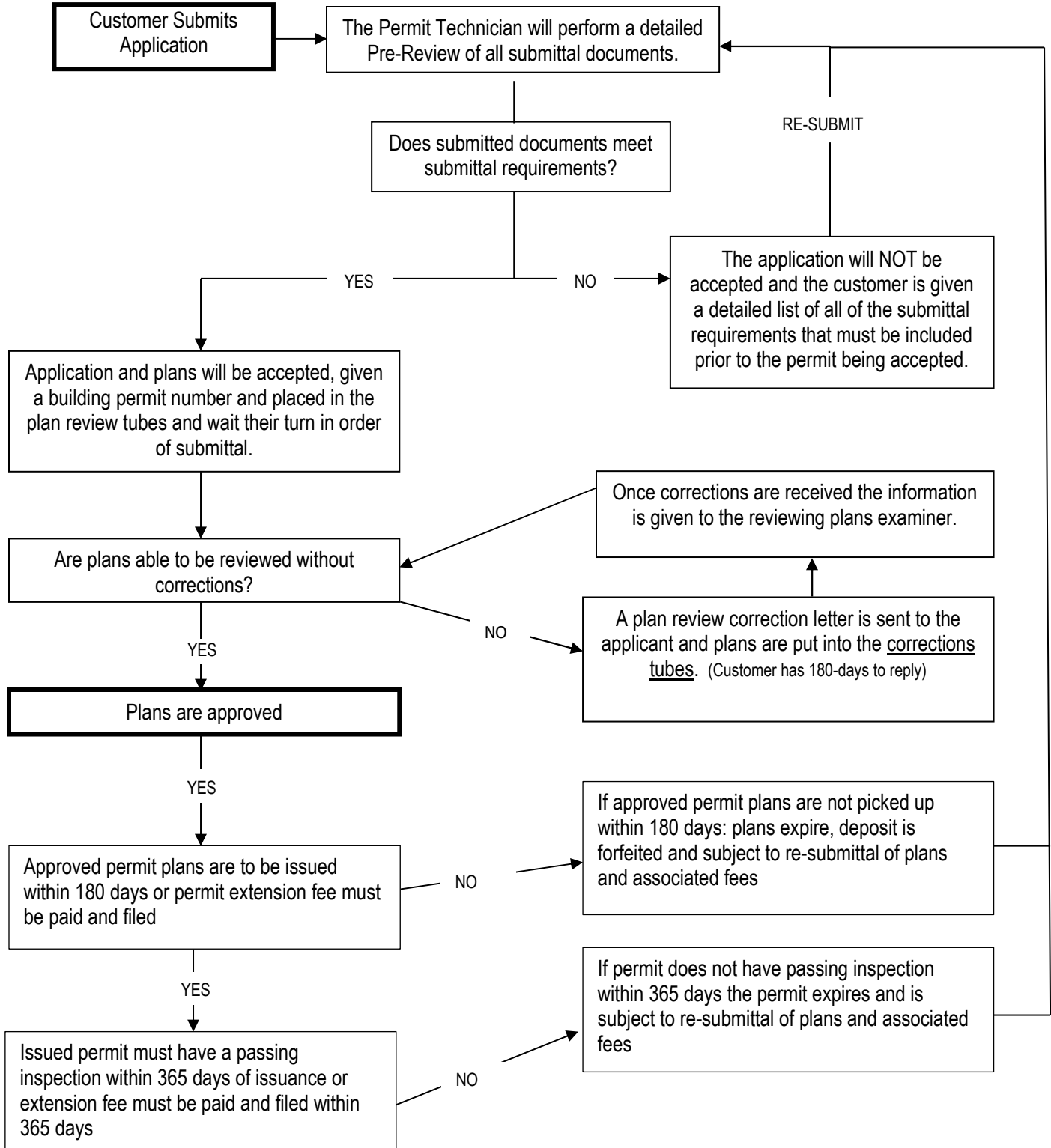
## WALL SECTION (TYP)

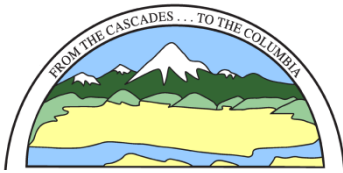
SCALE: 3/4" = 1'-0"

# ROOF FRAMING PLAN



# What happens after I submit?





# KITTITAS COUNTY

## COMMUNITY DEVELOPMENT SERVICES

411 NORTH RUBY STREET SUITE #2, ELLENSBURG, WA 98926  
PHONE (509) 962-7506

### General Application for Construction

#### Assessor Map Number:

(Use <http://www.co.kittitas.wa.us/assessor/property.asp> if needed)  
Example 21-12-35000-0021

#### Official Use Only:

Permit #:

Date Applied:

Intake:

Parcel Number: \_\_\_\_\_

Lot #: \_\_\_\_\_

Site Address:

Project Description/ Nature of Work:

Square Foot Total:

Specific Use of Structure:

No. of Bedrooms:

Heating System Type & Location:

Heating System Fuel Type:

Fireplace Fuel Type:

Hot Water Location & Fuel:

- ☐ New Residential
- ☐ Residential Alteration
- ☐ Residential Addition
- ☐ Mechanical

- ☐ New Commercial
- ☐ Commercial Alteration
- ☐ Commercial Addition
- ☐ Tenant Improvement

- ☐ Multi-Family
- ☐ Demolition
- ☐ Mobile Home
- ☐ Accessory Building

- ☐ Accessory Building Alteration
- ☐ Agricultural Building
- ☐ Other

#### PROPERTY OWNER NAME:

Day Phone:

Mailing Address:

City, State, ZIP:

E-mail:

Cell Phone:

#### CONTRACTOR:

Day Phone:

Contact:

Address, City, State, ZIP:

E-mail:

Cell Phone:

Contractor License #:

Expiration Date:

#### ARCHITECT/ ENGINEER/ DESIGNER:

Day Phone:

Contact:

Address, City, State, ZIP:

E-mail:

Cell Phone:

Professional License No.:

Expiration Date:

<b>APPLICANT/ AGENT:</b>		Day Phone:
Company (if any):		
Address, City, State, ZIP:		
E-mail:		Cell Phone:

**This Section To Be Completed For Construction Permits Only**

**Pursuant to RCW 19.27.095 (2)(i-ii) The requirements for a fully completed construction application shall include:**

- i. The name, address, and phone number of the office of the lender administering the interim construction financing, if any:  
OR
- ii. The name and address of the firm that has issued a payment bond, if any, on behalf of the prime contractor for the protection of the owner, if the bond is for an amount not less than 50% of the total amount of the construction project.

If for any reason the information requested below is not available at the time of application, the applicant shall provide the information as soon as it can be reasonably be obtained.

<input type="checkbox"/> Lending Agency Name:	Phone:
Mailing Address:	City: State: ZIP:
<input type="checkbox"/> I acknowledge by checking this box that this project has no lending agency for construction financing.	
<input type="checkbox"/> Bonding Agency Name:	Phone:
Mailing Address:	City: State: ZIP
<input type="checkbox"/> I acknowledge by checking this box that this project has no bonding agency.	

**If you are the Owner and Acting As Your Own Contractor, please complete the following declaration:**

I acknowledge that I am applying for a construction permit through the Kittitas County Community Development Services. I also acknowledge that I am not a licensed contractor, specialty or general, or that I am not acting as a contractor and wish to be exempt from the requirements of the Washington State Contractor's Act, per RCW 18.27.090, and will abide by all provisions and conditions of the exemption as stated. I agree that if I use the assistance of any person(s) to provide labor and/or assistance, I will retain only contractors registered and currently licensed as required under the laws of the State of Washington.

I (print name) \_\_\_\_\_ certify under penalty of perjury under the laws of the State of Washington that the foregoing is true and correct.

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

1. All permits shall expire by limitation and be declared void if any one of the following apply:
  - a. Work is not started within 365 days of obtaining a permit.
  - b. Work is abandoned for 365 days or more after beginning work.
  - c. An inspection and approval of work completed has not been performed by Kittitas County Community Development Services for 365 days.
2. The building permit card and approved construction plans shall be kept on the site of work until completion of the project.
3. It shall be the duty of the permit holder or their agent to notify the building official that such work is ready for inspection. It shall be the duty of the person requesting any inspections required by code to provide access to and means for inspection of such work. Work shall not be done beyond the point indicated in each successive inspection without first obtaining the approval of the building official. Any portion that does not comply shall be corrected and such portion shall not be covered or concealed until authorized by the building official.
4. No building or structure shall be used or occupied, and no change in the existing occupancy classification of a building or structure or portion thereof shall be made until the building official has issued a Certificate of Occupancy.
5. Work shall be installed in accordance with the approved construction documents, and any changes made during construction that are not in compliance with the approved construction documents shall be resubmitted for approval as an amended set of construction documents.

I hereby acknowledge that I have read this application and certify under penalty of perjury under the laws of the State of Washington that the above answers are true and complete to the best of my knowledge. I agree to comply with all current codes, laws, regulations and permit requirements related to this project. I hereby certify that I will pay all fees as required by law, including any applicable review fees if I do not purchase the permit. I further agree to, and hereby grant to Kittitas County Community Development Services and Department of Public Works a right to enter onto the premises as described for this permit application, for the purpose of making such inspections and tests as may be required. By signing this application, the Owner certifies that they are the legal owner of the property. All permit fees are non-refundable.

Owners Signature: (Required)		Authorized Agent Signature:	
Print Name:		Print Name:	
Date:		Date:	

# Kittitas County Building Permit Process Steps single family residence

